

SURF CITY LAND USE BOARD CHECKLIST FOR INITIAL SUBMISSION

PLEASE NOTE: A signed, completed checklist must be received by the Land Use Board Clerk and attorney prior to deeming your application complete.

All applications and all required documents shall be submitted at least forty five (45) days prior to the regularly scheduled meeting of the Land Use Board at which consideration is sought.

NUMBER OF COPIES REQUIRED - ALL DOCUMENTS MUST BE SUBMITTED AT THE SAME TIME.
INCOMPLETE SUBMISSIONS WILL NOT BE ACCEPTED!!!!

- 15 Copies of Application
- 15 Copies of Variance Map, Site Plan, or Subdivision and all supporting documents
- 15 Copies of Tax Map sheet with Block and Lot highlighted
- 15 Copies of the Permit Refusal from the Zoning Officer
- 15 Color Copies of Property Photos (min. 4 color photos taken within past 30 days.)
- **1 copy of W-9 Form
- **1 copy of Affidavit of Ownership, Consent, Authorization and Non-Collision
- **1 copy of Signed Checklist (must be submitted with initial documentation. Application will not be accepted without signed Checklist.)

**These items are to be included in initial package to board secretary only.

DISTRIBUTION

Please note it is the Applicant's responsibility to distribute completed applications

Kevin S. Quinlan, Esq., 207 W Main Street, Tuckerton, NJ 08087

- 1 Copy of complete Application
- 1 Copy of Variance Map, Site Plan or Sub-division map
- 1 Copy of Color Photos
- 1 Copy of Tax Map with property Lot and Block highlighted
- 1 Copy of Checklist

Frank Little, P.E. P.P., Owen Little and Associates, Inc 443 Atlantic City Blvd. Beachwood, NJ 08722

- 1 Copy of complete Application
- 1 Copy of Variance Map, Site Plan or Sub-division map
- 1 Copy of Color Photos
- 1 Copy of Tax Map with property Lot and Block highlighted

Surf City Fire Company 713 Long Beach Blvd, Surf City, NJ 08008

- 1 Copy of complete Application
- 1 Copy of Variance Map, Site Plan or Sub-division map
- 1 Copy of Color Photos

Board Clerk 813 Long Beach Blvd, Surf City, NJ 08008

- 1 Original of each Application Variance Plat, Site Plan or Sub-division Plat Tax Map Zoning Denial
- Color Photos items marked with ** (Check all that apply)
- 12 Copies of Application
- 12 Copies of Variance Map, Site Plan or Sub-division map
- 12 Copies of Color Photos
- 12 Copies of Tax Map with property Lot and Block highlighted
- 12 Copies of the Zoning Denial Letter
- Check for Application Fee \$ 200.00
- Check for Initial Escrow \$ 1500.00

Sign Name _____

Date: 10/31/25

Print Name James S. Raban,

Attorney for Applicant

**APPLICATION TO THE SURF CITY
LAND USE BOARD**

Name: Pecarsky Variance
 Block: 37 Lot(s): 8
 Street Address: 112 N. 16th Street

Do not write below - for official use only	
Date Received:	
Application Fee:	\$
Escrow Fee:	\$
Collected By:	
Application #:	

CHECK AS MANY AS APPLY:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Bulk Variance | <input type="checkbox"/> Minor Subdivision (Exempt) |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Major Subdivision/Preliminary |
| <input type="checkbox"/> Interpretation | <input type="checkbox"/> Major Subdivision/Final |
| <input type="checkbox"/> Informal | <input type="checkbox"/> Major Site Plan/Preliminary |
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> Major Site Plan/Final |
| <input type="checkbox"/> Other _____ | |

1. Applicant's Name: Ruth Pecarksy, Leo Pecarsky, & Charlene Pecarsky
 Applicant's Address: 22 Dunmore Avenue, Ewing, NJ 08618
 _____ Fax: (____) _____

Applicant is the Owner Agent
 Applicant is Individual(s) Corporation Partnership/LLC

If applicant and/or owner is a corporation, LLC or Partnership, set forth the names and addresses of all stockholders or partners having 10% interest or more on a separate paper. Corporations must be represented by a New Jersey Licensed Attorney and provide a Resolution Authorizing the Application.

2. Owner's Name(s): Same as Applicant

 Address: _____
 Phone: (____) _____ Fax: (____) _____ e-mail: _____
All owners of the property must be identified and sign application. Use additional pages if necessary

3. Applicant's Attorney/Firm: James S. Raban, Esq.
 Address: 11710 Long Beach Blvd., Haven Beach, NJ 08008
 Phone: (609) 492-0533 Fax: (609) 492-0464 e-mail: jraban@regraban.com

4. Applicant's Planner/Surveyor: East Coast Engineering, Inc.
 Firm Name and Address: 508 Main St., Toms River, NJ 08753
 Phone: (732) 244-3030 Fax: (732) 244-3044 e-mail: jason.marciano@eceinc.net

Applicant's Architect/Engineer: Gym Wilson Architects, AIA
 Firm Name and Address: P.O. Box 130, Ship Bottom, NJ 08008
 Phone: (609) 618-0201 Fax: (____) _____ e-mail: gymitect@aol.com

Attach additional sheet sheets if necessary.

5. Location of Property: Tax Map Block 37 Lot(s) 8
Street Address: 112 N. 16th Street

Zone: RA Tract Area: 4,000 sq. ft. Lot Dimensions: 40' x 100'

6. Current Use: Two-Family Number of Dwelling Units: 2
Proposed Use: Two-Family Number of Proposed Lots: 1

7. Existing Restrictions:
(A) Deed Restrictions: _____ (attach copy) None
(B) Easements: _____ (attach copy) None
(C) Condominium or Cooperative: _____ (attach copy) None

8. Proposed Restrictions: _____ None

9. Variance(s)/Waiver(s) Sought:
(A) List required variances: See attached Application Supplement. None

Provide on separate paper the ordinance number(s) for which a variance(s) is/are being requested and the legal theory supporting the relief sought.

(B) List Waiver(s) requested: _____ None
If waivers requested provide on a separate paper the basis for the request.

10. Briefly describe any prior or currently pending proceedings before this Land Use Board or any other Federal, State, County or local board or Agency involving this property which is the subject of this application and attach copies of any applications, supporting documentation and decisions of the relevant body including any denials. (Attach additional sheets if necessary).
_____ None

11. List all material submitted with this application i.e. plans, drawings, photos, calculations, reports etc.
-Variance Plan prepared by East Coast Engineering, Inc.
-Architectural Drawings prepared by Gym Wilson Architects, AIA
-4 Photographs of the subject property

All owners of record must sign Application.

Dated: 10/31/25

Ruth Pecarsky
Ruth Pecarsky, Owner
(Print name under signature)

Dated: 10/31/25

Leo Pecarsky
Leo Pecarsky, Owner
(Print name under signature)

Dated: 10/31/25

Charlene Pecarsky
Charlene Pecarsky, Owner

APPLICATION SUPPLEMENT

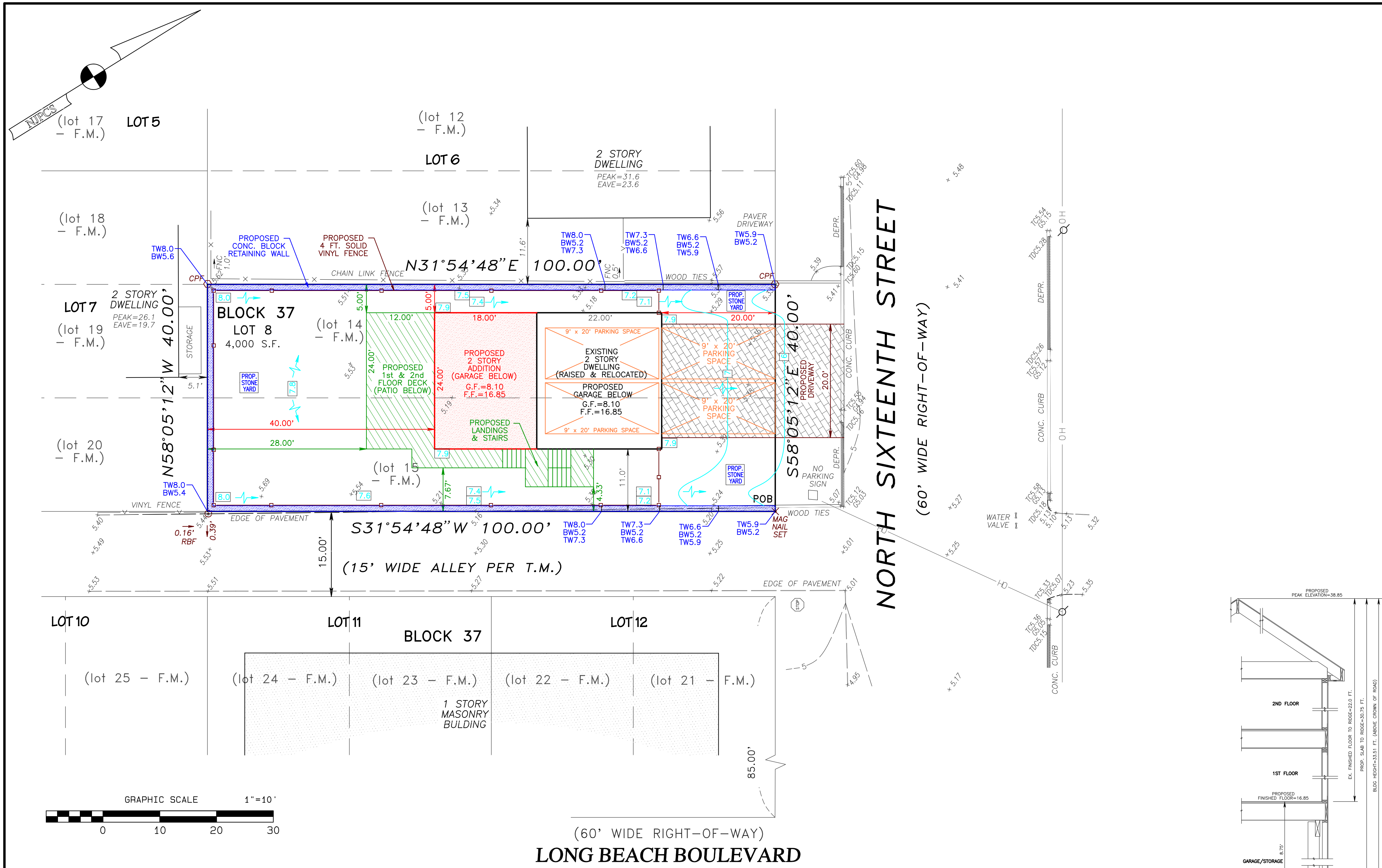
Ruth Pecarsky, Leo Pecarsky, and Charlene Pecarsky (collectively, the “Applicant”) are seeking bulk variances and a conditional use variance relative to proposed development at the property designated as Lot 8 in Block 37 on the Tax Map of the Borough of Surf City, located at 112 N. 16th Street. The property is currently developed with a two-story duplex. The Applicant is seeking to raise, relocate, and expand the existing duplex, construct a ground-floor garage/storage area, construct a two-story deck in the rear yard, and install a concrete block retaining wall. The existing detached garage will be removed.

In the RA Residential Zone, two-family dwellings are permitted on a property so long as the property has a minimum area of 10,000 square feet and a minimum frontage of 100 feet. The subject property has an area of 4,000 square feet and frontage of 40 feet. Due to the proposed expansion of the home, a conditional use variance is required based upon the fact that the property does not meet the conditions required for the existing two-family use at the site. The Applicant also requests the following bulk variances from the Surf City Zoning Ordinance:

1. Section 30-6.1: The minimum required lot area is 5,000 square feet. The existing and proposed lot area is 4,000 square feet, which is a preexisting nonconformity that is not changing.
2. Section 30-6.1: The minimum required lot frontage is 50 feet. The existing and proposed lot frontage is 40 feet, which is a preexisting nonconformity that is not changing.
3. Section 30-6.5(a)(2): The minimum required side yard setback to the alley is 10 feet. The proposed side yard setback to the alley is 4.33 feet.

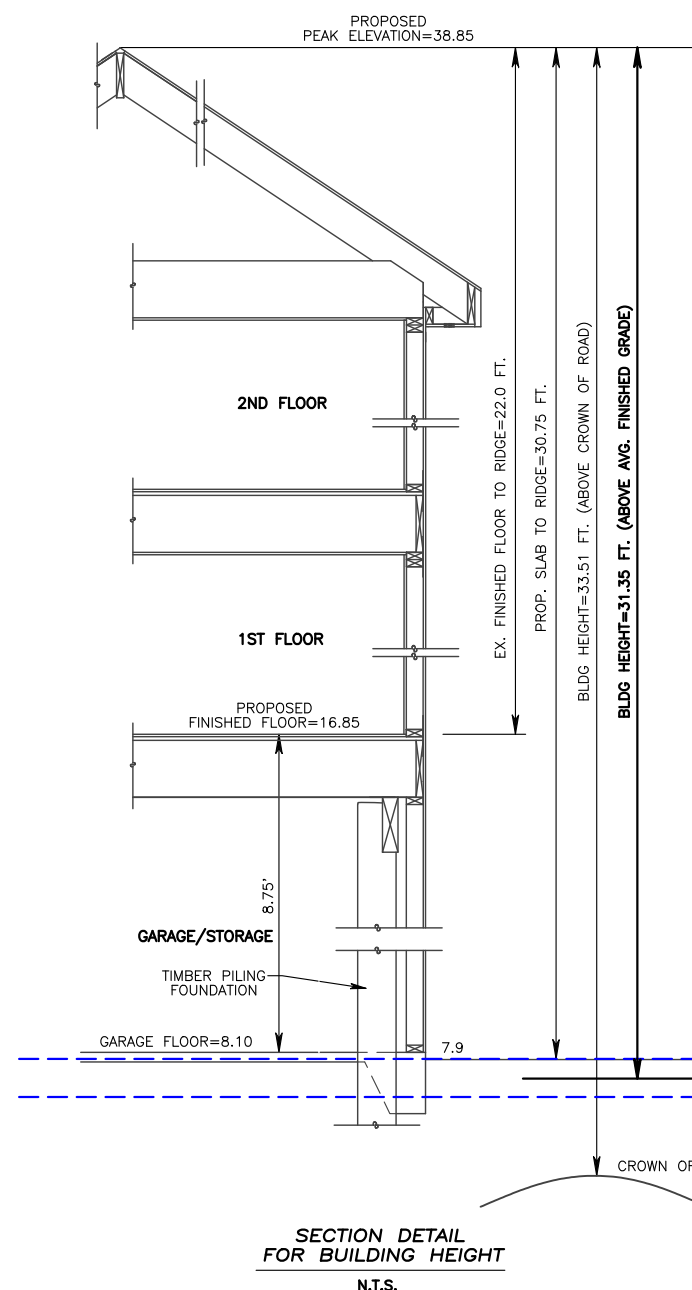
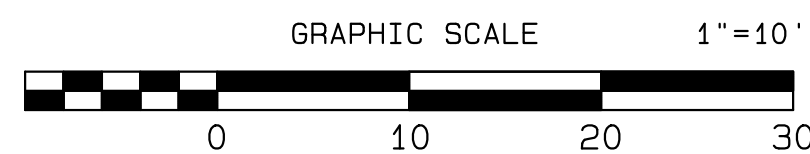
The raising of the home will promote safety from potential flooding. Additionally, the side yard setback variance pertains to stairs and a small portion of decking adjacent to the alley. There is a commercial property across the alley and, therefore, the proposed nonconforming side yard setback will not have any negative impact on surrounding properties. The relocation of the home will also allow for off-street parking off of N. 16th Street that currently does not exist.





PROPOSED CONDITIONS

SCALE: 1" = 10'

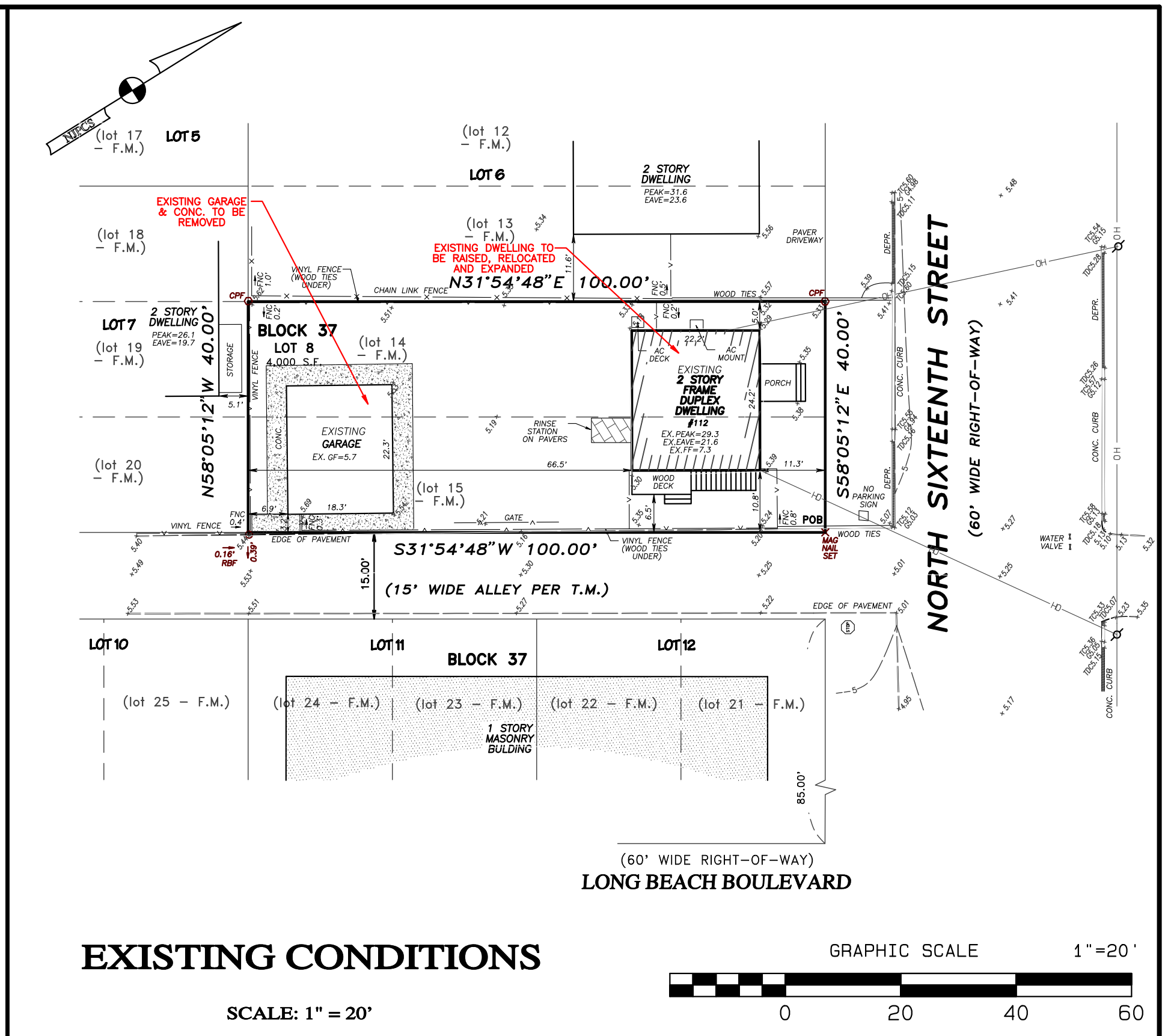


SECTION DETAIL FOR BUILDING HEIGHT N.T.S.

- GENERAL NOTES:**
- 1.) APPLICANT PROPOSES TO RAISE, RELOCATE AND EXPAND THE EXISTING 2 STORY DUPLEX DWELLING, CONSTRUCT A GARAGE/STORAGE AREA BELOW, CONSTRUCT A 2 STORY DECK, INSTALL A CONCRETE BLOCK RETAINING WALL, INSTALL FENCING AND A DRIVEWAY.
 - 2.) THIS PLAN BASED ON SURVEY BY EAST COAST ENGINEERING, INC., SHOWING EXISTING CONDITIONS AS OF 02/03/2025, LAST REVISED 02/18/2025. ELEVATIONS BASED ON NAVD 1988.
 - 3.) PROPOSED FINISHED FLOOR ELEVATION = 16.85
PROPOSED GROUND FLOOR ELEVATION = 8.1
 - 4.) SITE LOCATED IN FLOOD HAZARD ZONE AE (ELEV 7.0) AS PER FLOOD INSURANCE RATE MAP PANEL S16 OF 665, COMMUNITY NO. 345124 0516 G, MAP NO. 34029C0516G, EFFECTIVE DECEMBER 16, 2021.
**AS PER FEMA PRELIMINARY FIRM MAP 34029C0516H DATED 03/28/2014 THIS SITE IS IN ZONE AE (ELEV 7.0).
 - 5.) BUILDER SHALL VERIFY THAT DWELLING IS CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING REQUIREMENTS FOR FLOOD ZONES, SUCH AS FLOOD VENTING, GRADING, UTILITIES, ETC...
 - 6.) NO WETLANDS ARE PRESENT ON LOT 8.
 - 7.) PROPOSED HOUSE DIMENSIONS OBTAINED FROM PLANS PREPARED BY GYM WILSON ARCHITECTS.
 - 8.) EXISTING DETACHED GARAGE & ASSOCIATED CONCRETE SHALL BE REMOVED.
 - 9.) WATER AND SEWER SERVICE IS PROVIDED BY MUNICIPAL AUTHORITIES. EXISTING UTILITY LOCATIONS SHALL BE FIELD DETERMINED PRIOR TO ANY SITE PREPARATION, DEMOLITION, EXCAVATION OR CONSTRUCTION.
 - 10.) STORMWATER RUNOFF IS TO BE DIRECTED TOWARD PERMEABLE SURFACES OR NORTH SIXTEENTH STREET.
 - 11.) NO PLASTIC LINERS ARE TO BE USED UNDER STONE, GRAVEL, OR LANDSCAPED AREAS FILTER FABRIC SHALL BE USED IF NECESSARY.

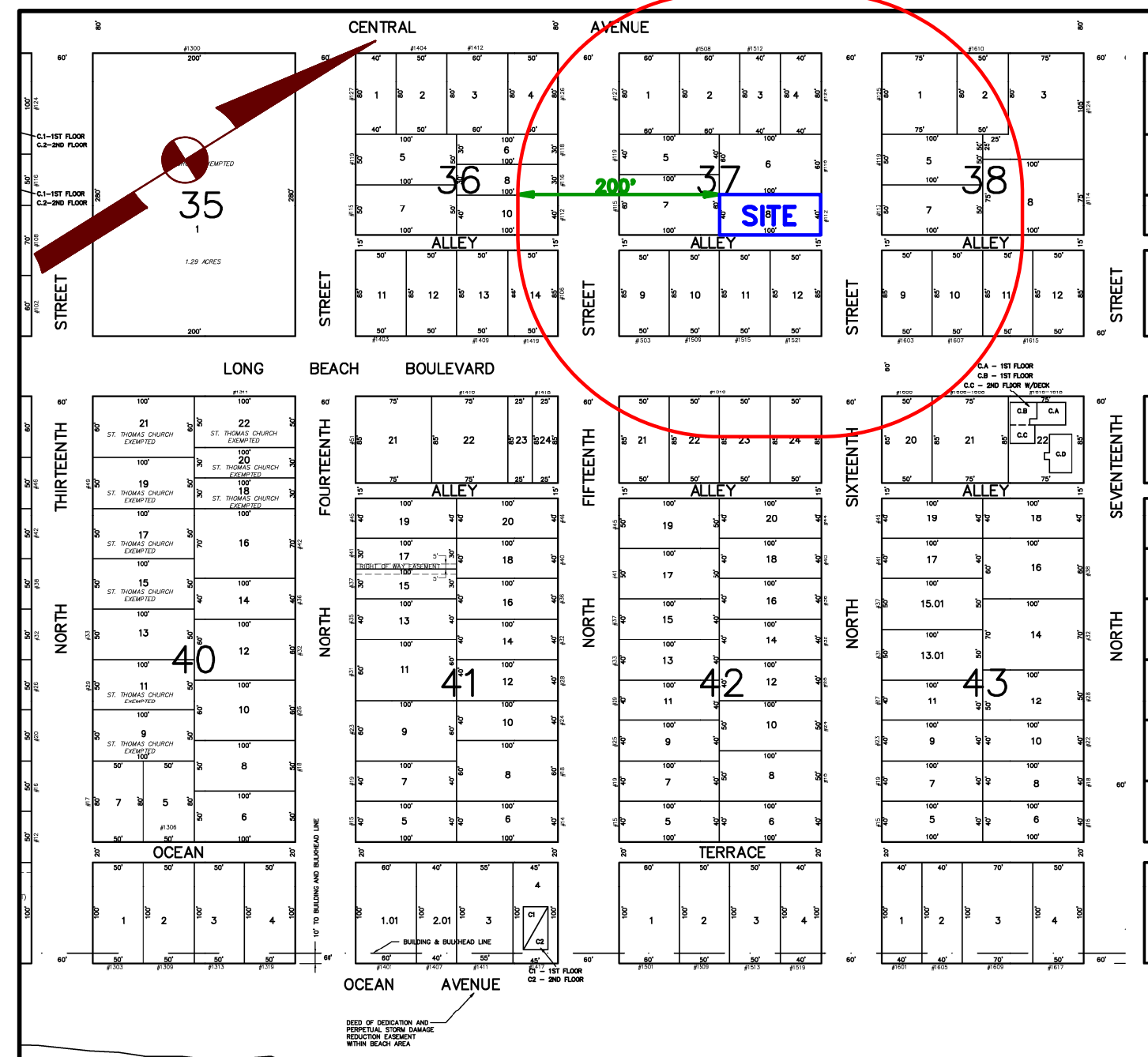
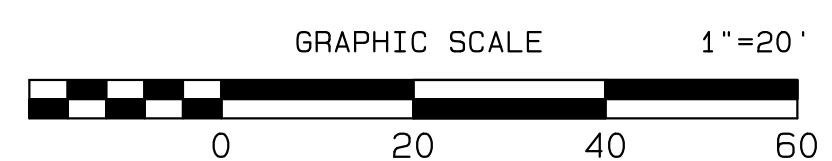
RA ZONE REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	5,000 S.F.	4,000 S.F. (ENC)	N/C
MINIMUM LOT FRONTAGE:	50 FT.	40.00 FT. (ENC)	N/C
MINIMUM FRONT SETBACK:	10 FT.	11.3 FT.	20.0 FT.
MINIMUM REAR SETBACK:	5 FT.	66.5 FT.	28.0 FT.
MINIMUM SIDE SETBACK:	5 FT.	5.0 FT.	5.0 FT.
MINIMUM OTHER SIDE SETBACK: (ALLEY)	10 FT.	6.5 FT. (ENC)	4.33 FT. (PV)
MINIMUM GROUND FLOOR AREA:	720 S.F.	537 S.F. (ENC)	960 S.F.
MINIMUM DWELLING WIDTH ADJ. TO STREET:	30 FT.	23.6 FT. (ENC)(1)	24 FT.
MAXIMUM LOT COVERAGE:	30 %	23.6 % (ENC)(1)	34.8 % (1)(2)
MAXIMUM BUILDING HEIGHT:	34 FT. (3)	24.0 FT.	31.35 FT.
ACCESSORY:			
MINIMUM FRONT SETBACK:	10 FT.	3.2 FT. (ENC)	N/A
MINIMUM SIDE SETBACK:	5 FT.	14.6 FT.	N/A
MINIMUM REAR SETBACK:	5 FT.	6.9 FT.	N/A
(ENC) -- EXISTING NON CONFORMITY			
(PV) -- PROPOSED VARIANCE			
(N/A) -- NOT APPLICABLE			
(1) -- NO CHANGES			
(2) -- INCLUDES DWELLING, DECK & STAIRS			
(3) -- AS PER 50'-4.33'-1.1' MAXIMUM BUILDING HEIGHT SHALL BE NO MORE THAN 34 FEET ABOVE THE AVERAGE FINISHED GRADE (EXCLUDING DESIGNATED DRIVEWAYS) PROVIDED THE GRADE ELEVATION IS A MINIMUM OF 24 INCHES AND NO MORE THAN 40 INCHES ABOVE THE CENTERLINE OF THE STREET UPON WHICH THE LOT FRONTS. (AVERAGE PROPOSED FINISHED GRADE = 7.5)			

- LIST OF VARIANCES REQUIRED:**
- 1.) VARIANCE REQUIRED FOR LOT AREA--5,000 S.F. REQUIRED--4,000 S.F. PROVIDED, EXISTING CONDITION.
 - 2.) VARIANCE REQUIRED FOR LOT FRONTAGE--50 FT. REQUIRED--40 FT. PROVIDED, EXISTING CONDITION.
 - 3.) VARIANCE REQUIRED FOR MINIMUM SIDE SETBACK TO ALLEY--10 FT. REQUIRED--4.33 FT. PROVIDED, PROPOSED CONDITION.
 - 4.) VARIANCE REQUIRED FOR USE OF THE SITE--DUPLEX DWELLING EXISTING AND PROPOSED.
 - 5.) LOT DOES NOT MEET THE CONDITIONS OF THE PERMITTED USE AT 33'-6.25'--DUPLEX DWELLINGS ARE PERMITTED PROVIDED THE LOT IS A MINIMUM OF 10,000 SF AND 100 FEET OF FRONTAGE.



EXISTING CONDITIONS

SCALE: 1" = 20'



KEY MAP

SCALE: 1" = 200'

REV. NO.	DATE	DESCRIPTION

VARIANCE PLAN

**SITE ADDRESS: 112 NORTH SIXTEENTH STREET
BLOCK 37 LOT 8
BOROUGH OF SURF CITY, OCEAN COUNTY, NEW JERSEY**

JOB NO.: 2024-0416 TAX MAP SHEET NO.: 5

DRAWN BY: DLG UNITS: USFT

CHECKED BY: JMM VERTICAL DATUM: NAVD 1988

SCALE: AS INDICATED HORIZONTAL DATUM: NAD 1983

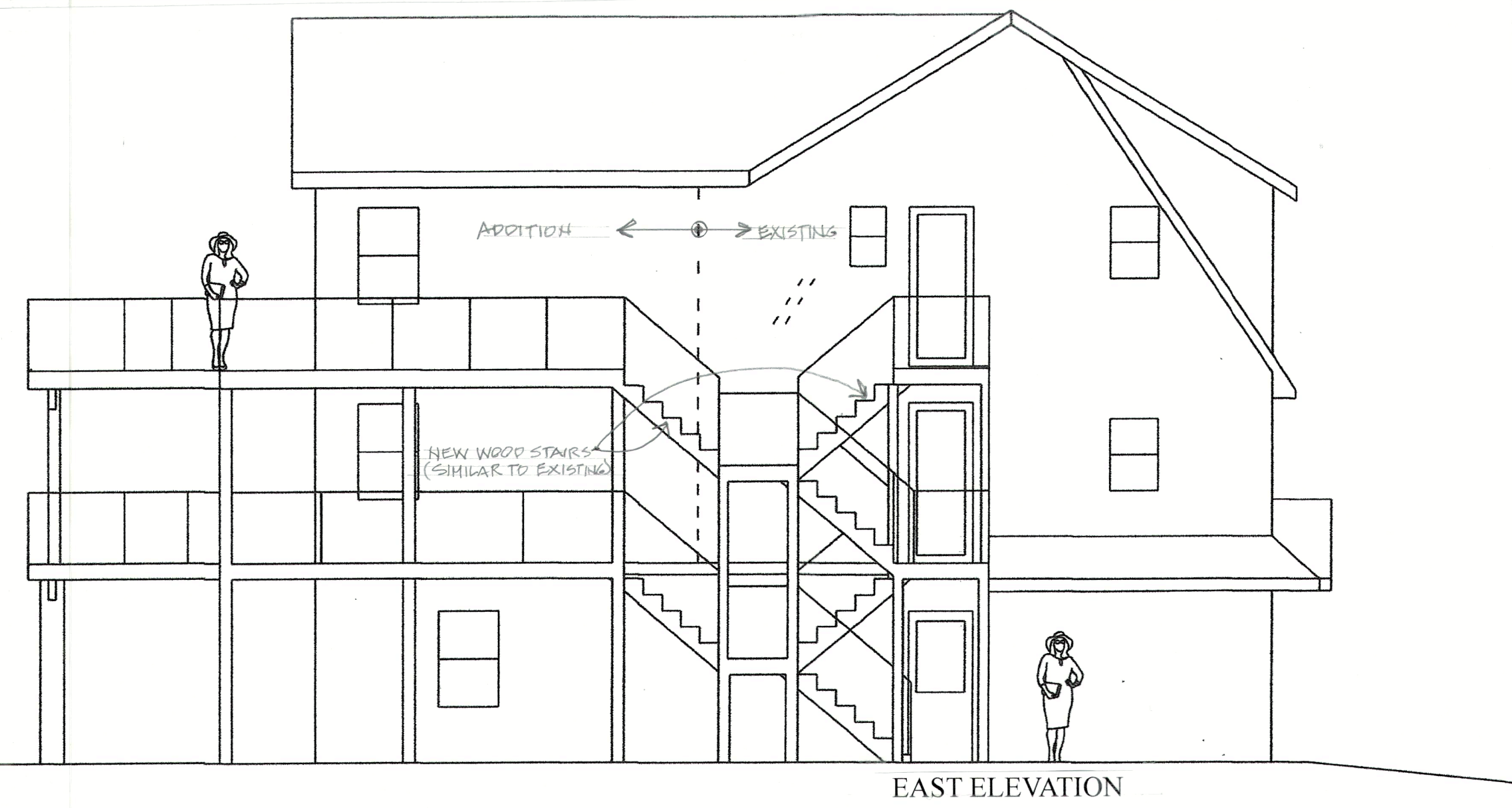
DATE PREPARED: 10/30/2025 DEED BOOK/PAGE: 15920 / 204

JASON M. MARCIANO, P.E., P.P.
NEW JERSEY PROFESSIONAL PLANNER 08040

APPLICANT:
RUTH, LEO & CHARLENE PECARSKY
22 DUNMORE AVENUE
EWING, NJ 08618

East Coast Engineering, Inc.
JAY F. PIENSON, PLS., PE
ROBERT J. HARRINGTON, PE
JASON M. MARCIANO, PE, PP
JOSEPH L. LAZARO, PLS.

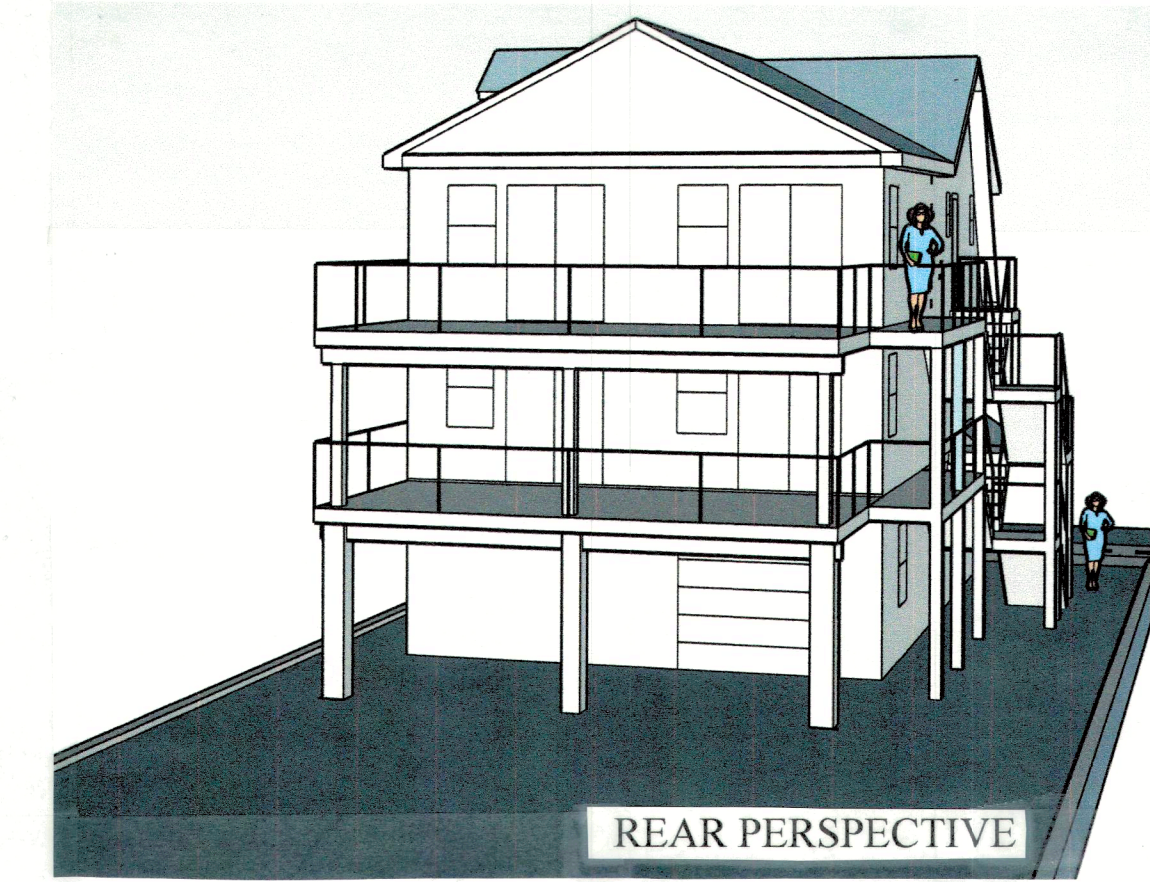
ENGINEERING LAND SURVEYING PLANNING GPS
(732) 244-2000 VOICE 608 MAIN STREET
(609) 693-2800 VOICE TOMS RIVER, NJ 08783
(732) 244-2044 FAX
www.ecoeng.net



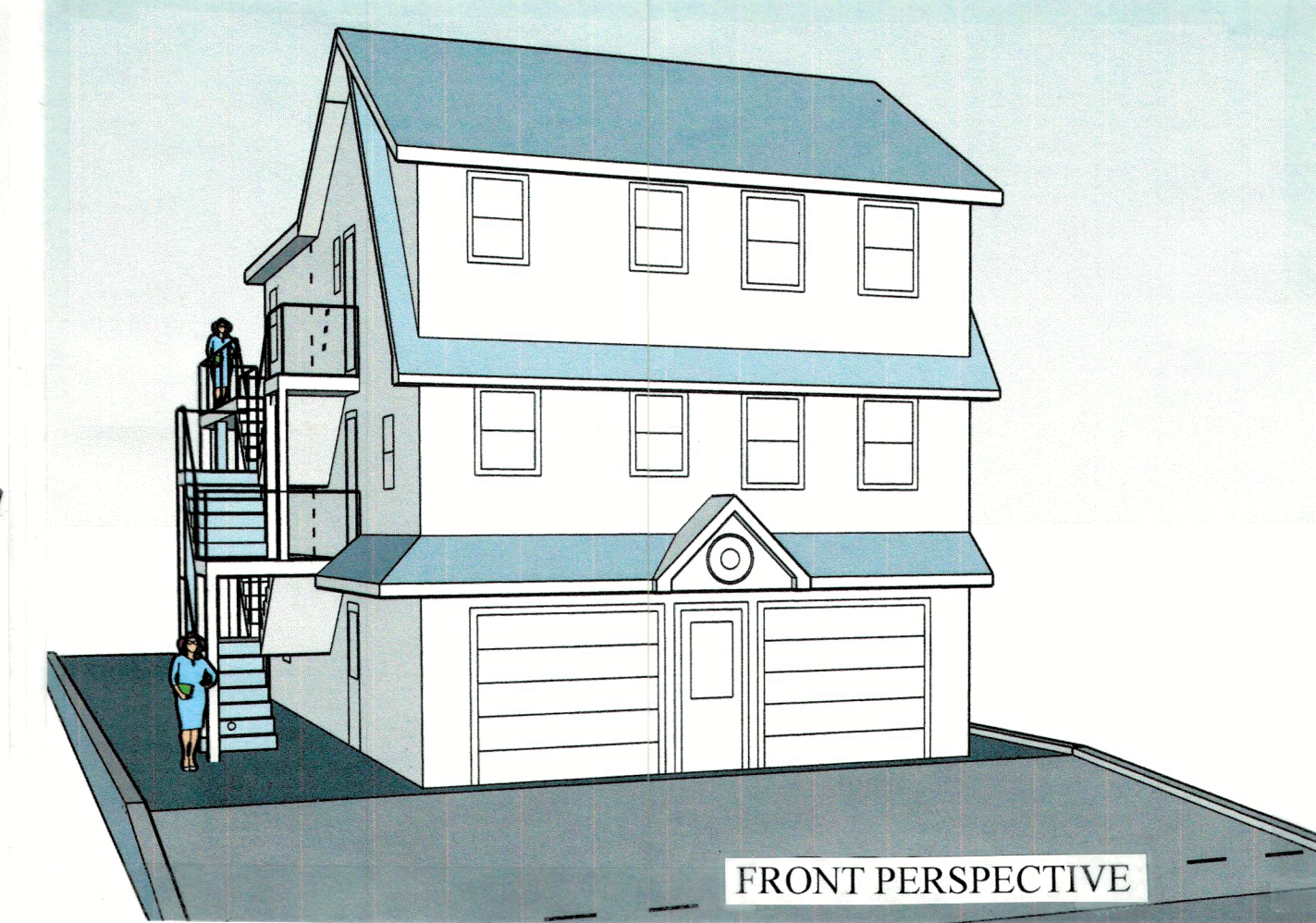
EAST ELEVATION



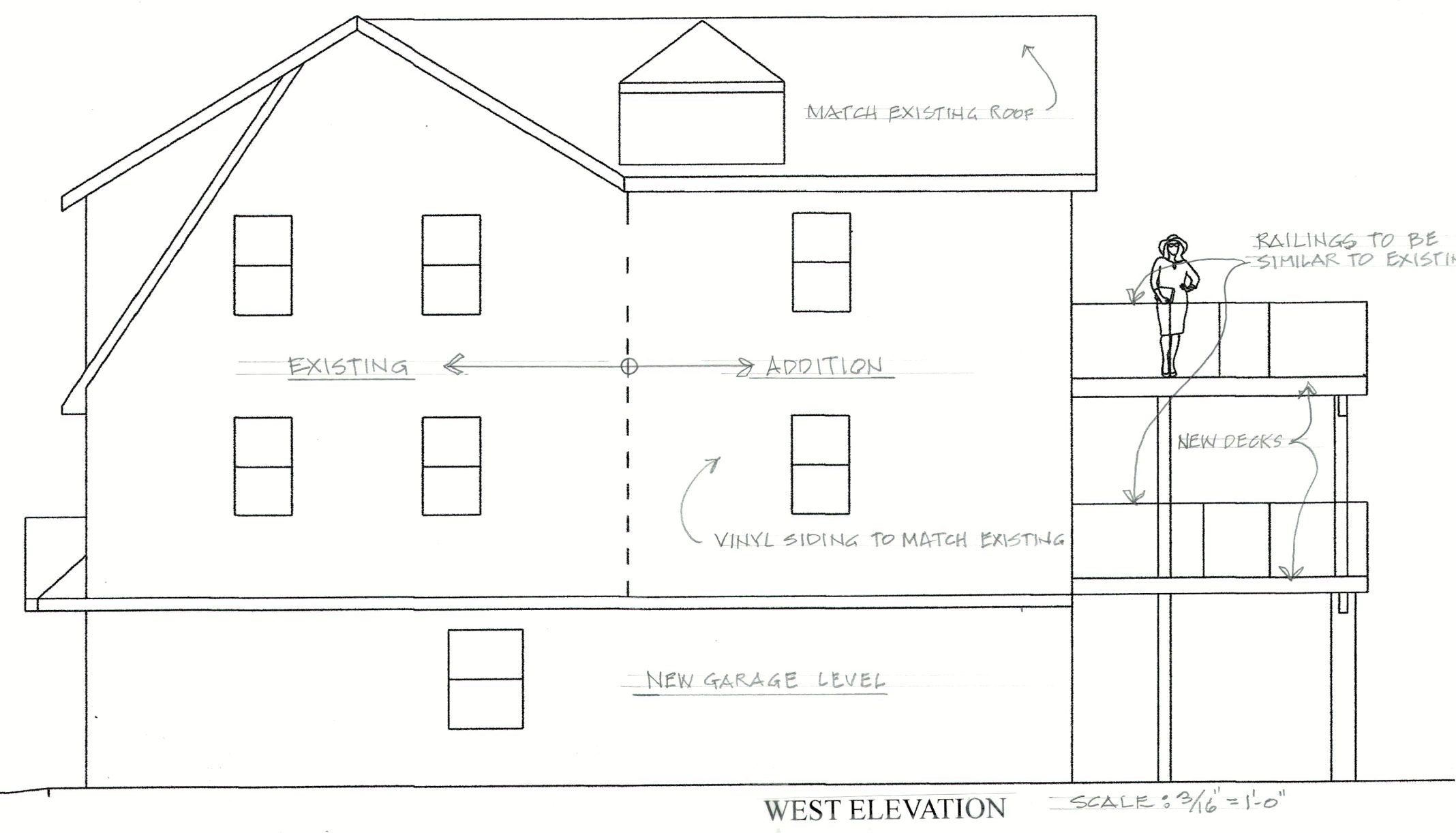
SOUTH ELEVATION



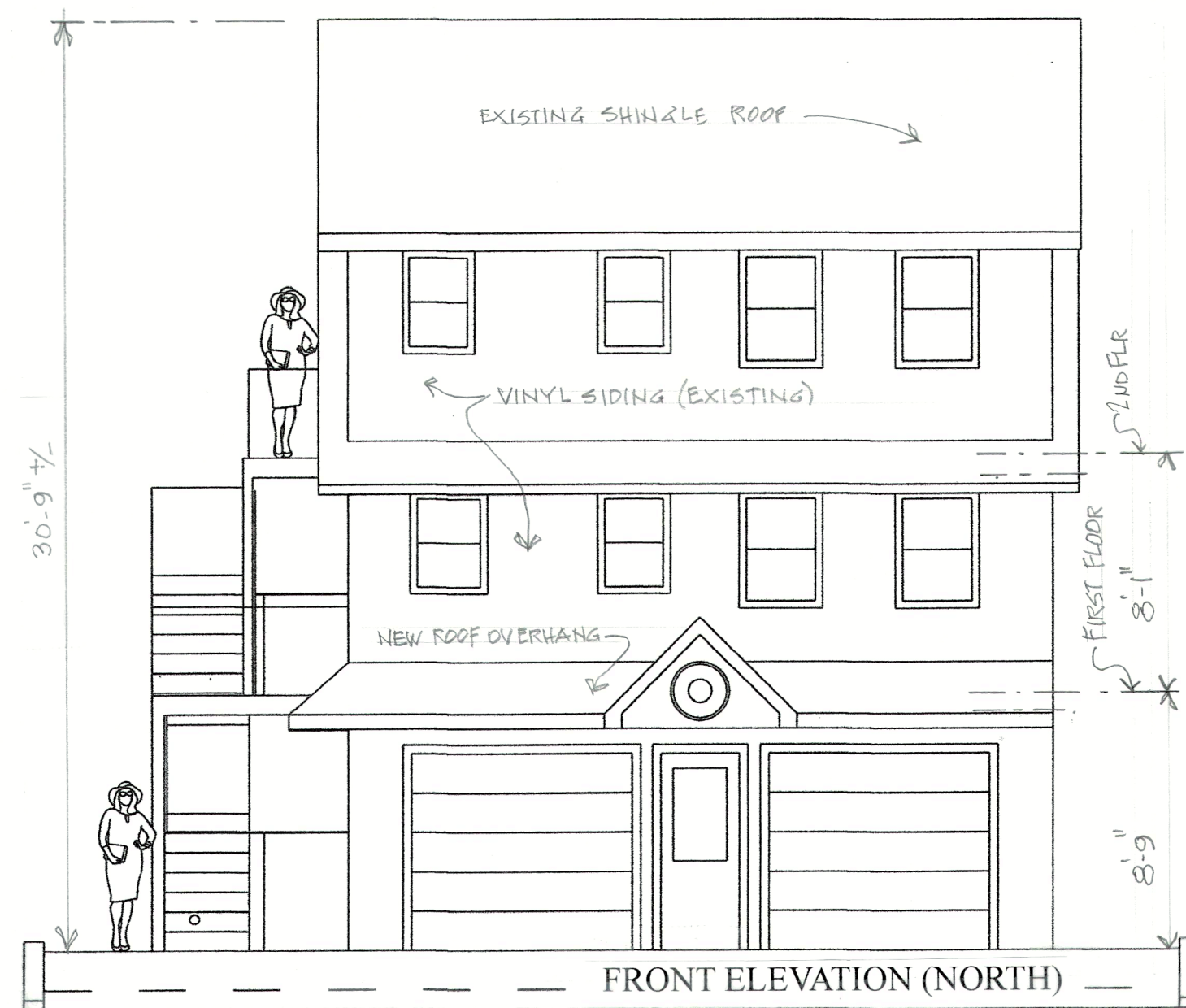
REAR PERSPECTIVE



FRONT PERSPECTIVE



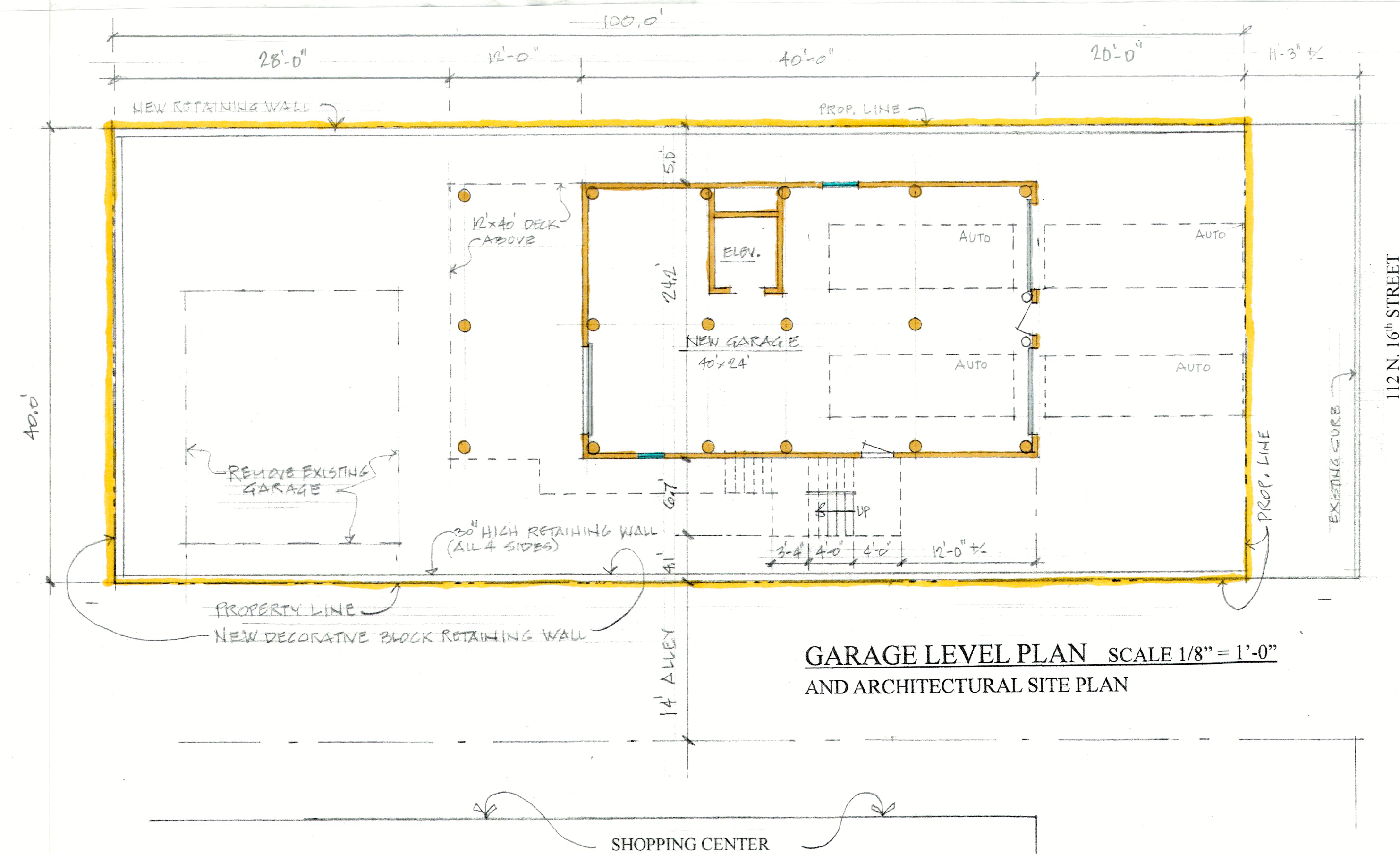
WEST ELEVATION SCALE 3/8" = 1'-0"



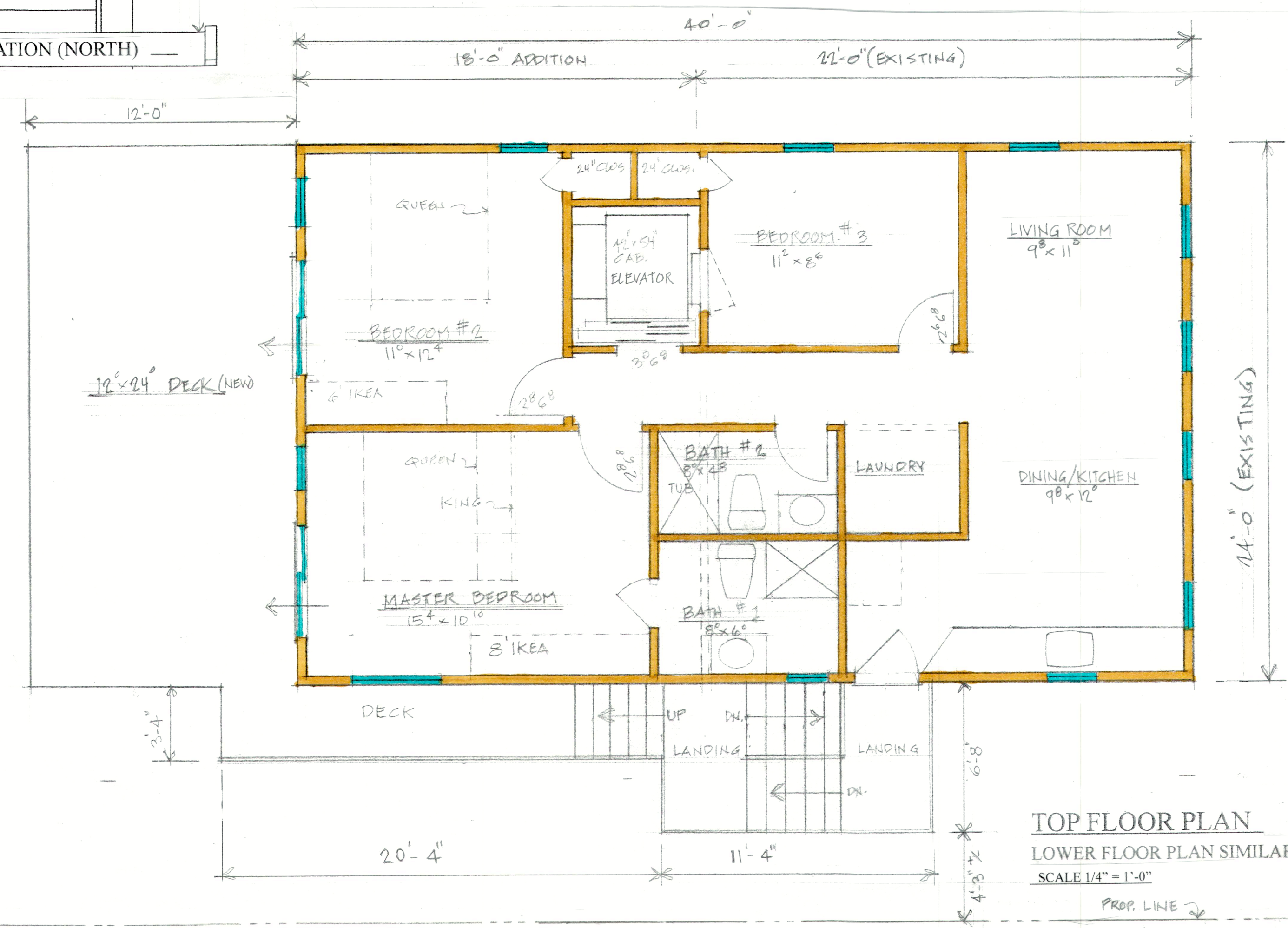
FRONT ELEVATION (NORTH)



PHOTO OF EXISTING DUPLEX SHOWING EAST AND NORTH SIDE ELEVATIONS



GARAGE LEVEL PLAN SCALE 1/8" = 1'-0" AND ARCHITECTURAL SITE PLAN



TOP FLOOR PLAN LOWER FLOOR PLAN SIMILAR SCALE 1/4" = 1'-0"